



Little Building Solutions Inc.
1750 Springfield Rd
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3020 Abbott St
Kelowna Paddle Center
Development Permit Application
Design Rationale Statement

The proposed renovation of the existing Paddle Center and new construction of the community building is a strategic initiative aimed at enhancing recreational facilities and community engagement in Kelowna. After multiple meetings with City representatives and the KPC board members, this project aligns with and supports the objectives outlined in the OCP, as well as KPC's business plan and future growth projections.

Alignment with Kelowna 2040 OCP Objectives

1. Sustainability and Environmental Stewardship

- **Eco-Friendly Design:** The renovation and new construction will incorporate sustainable building practices, such as energy-efficient systems, and the use of eco-friendly materials. This aligns with the OCP's commitment to reducing environmental impact and promoting green building standards.
- **Climate Resilience:** By updating the Paddle Center, we will integrate climate resilience strategies, including enhanced insulation, climate control systems, and renewable energy sources. This contributes to the OCP's goal of preparing Kelowna for future climate challenges.

2. Community Health and Well-Being

- **Enhanced Recreational Facilities:** The new Paddle Center will offer state-of-the-art amenities that cater to a diverse range of activities, promoting physical health and well-being. This includes modernized paddling equipment, accessible facilities, and improved safety features.
- **Inclusive Design:** The renovation will ensure accessibility for all community members, including those with disabilities, thereby fostering an inclusive environment. This supports the OCP's objective of creating equitable and accessible public spaces.

3. Economic Vitality and Growth

- **Local Economy Boost:** By investing in the Paddle Center, we are supporting local businesses through job creation and increased economic activity. The project will attract visitors, generate revenue, and create opportunities for local vendors and service providers.
- **Tourism Enhancement:** The new Paddle Center will become a destination for both residents and tourists, enhancing Kelowna's reputation as a premier outdoor recreation hub. This aligns with the OCP's vision of promoting Kelowna as a vibrant and attractive place for tourism and recreation.

4. Community Engagement and Social Connectivity

- **Community Hub:** The updated Paddle Center will serve as a central gathering space for community events, workshops, and social activities, fostering a sense of community and belonging. This is in line with the OCP's goal of strengthening community ties and encouraging active civic participation.
- **Educational Opportunities:** The center will continue to provide educational programs on paddling techniques, environmental stewardship, and water safety, aligning with the OCP's commitment to lifelong learning and community education.

5. Land Use and Urban Design

- **Aesthetic Integration:** The design of the new Paddle Center will complement the new surrounding park landscape and architectural style of the neighborhood, contributing to the visual and environmental quality of the area. This aligns with the OCP's objective of preserving and enhancing Kelowna's aesthetic character.

Conclusion

The renovation and construction of the new Paddle Center represent a significant investment in Kelowna's recreational infrastructure and community well-being. By aligning with the Kelowna 2040 OCP objectives, this project will contribute to a sustainable, healthy, and economically vibrant community, while enhancing the city's recreational offerings and overall quality of life.

Regards,

Gaële Royant
Project Coordinator
Little Building Solutions

KELOWNA PADDLE CENTER

Document Date:
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rev.	date	remark
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DATA SHEET

A0.0

CODES & STANDARDS

- All workmanship is to be of a standard equal in all respects to good practice.
- All work shall conform to local building codes and bylaws which may take precedence.
- Prior to proceeding with construction, the owner/builder must verify all information, dimensions, and specifications of this plan. Written dimensions always take precedence over scale measurements.

SITE SPECIFICATIONS

- Building and site grade elevations shall be confirmed with utility providers and local authorities and comply with utility service and site drainage requirements.
- All building and utility excavation shall be filled and compacted in 12" layers to a minimum 95% proctor density to ensure minimal settlement.
- Dimensions are shown to finished face (drywall) on base building walls and to the face of stud on interior walls (steel stud).
- Contractor is to verify all dimensions prior to construction.

CONCRETE & FOOTINGS

- All concrete to have a minimum compressive strength of 2,900 PSI (20MPa) at 28 days.
- Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration.
- All foundation walls 24" (600mm) and higher should have one horizontal 10mm reinforcing bar 3" (75mm) from the top corner. Reinforcing to be lapped minimum 24" (600mm)
- All footings are to have two 1/2" (#4) reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75mm) clear of the side and bottom of the footing on both sides of the footing.
- Grades shown on elevation are estimated. Adjust on site as required.

CARPENTRY

- All dimensions and gridlines at exterior walls are to edge of stud. Interior dimensions are to middle of stud, unless otherwise noted.
- Framing lumber shall be number 2 or better spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed and confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss/floor manufacturer take precedence. Wood in contact with concrete shall be dampproofed with a sill plate gasket and pressure treated
- Plates are to be anchored to concrete with 1/2" anchor bolts. Maximum 6ft O.C. or other approved method.
- Flush framed wood members shall be anchored with 200lb joist hangers unless otherwise specified.
- Stamped and sealed shop drawings shall be provided for all structural beam, floor, and roof systems.
- Lintels are (2) 2x10" SPF w/ 2" thick rigid insulation sealed at perimeter U.N.O.
- Provide 2x6" solid blocking at towel bars, toilet paper holders, coat hooks, mirrors, and wall mounted vanities

INSULATION/VENTILATION

- Minimum insulation requirements:
 - Roof/Ceiling - R 60
 - Walls - 2 x 6 - R 22
 - Garage Ceiling - R 32
- Refer to Floor(wall/roof) schedule for insulation type.
- Walls and ceilings between residence and attached garage shall be insulated.
- Insulation requirements may vary with heating systems and with local conditions.
- All roof spaces shall be ventilated with soffit, roof, or gable vents, or a combination of these. Equally distributed between the top of the roof space and soffits.

HVAC SPECIFICATIONS

- All HVAC systems to comply with BC Building Code.
- All HVAC systems to be designed by a qualified designer.
- All fixtures and materials to be CSA approved.
- All equipment and appliances to be installed and tested as per trade standards.

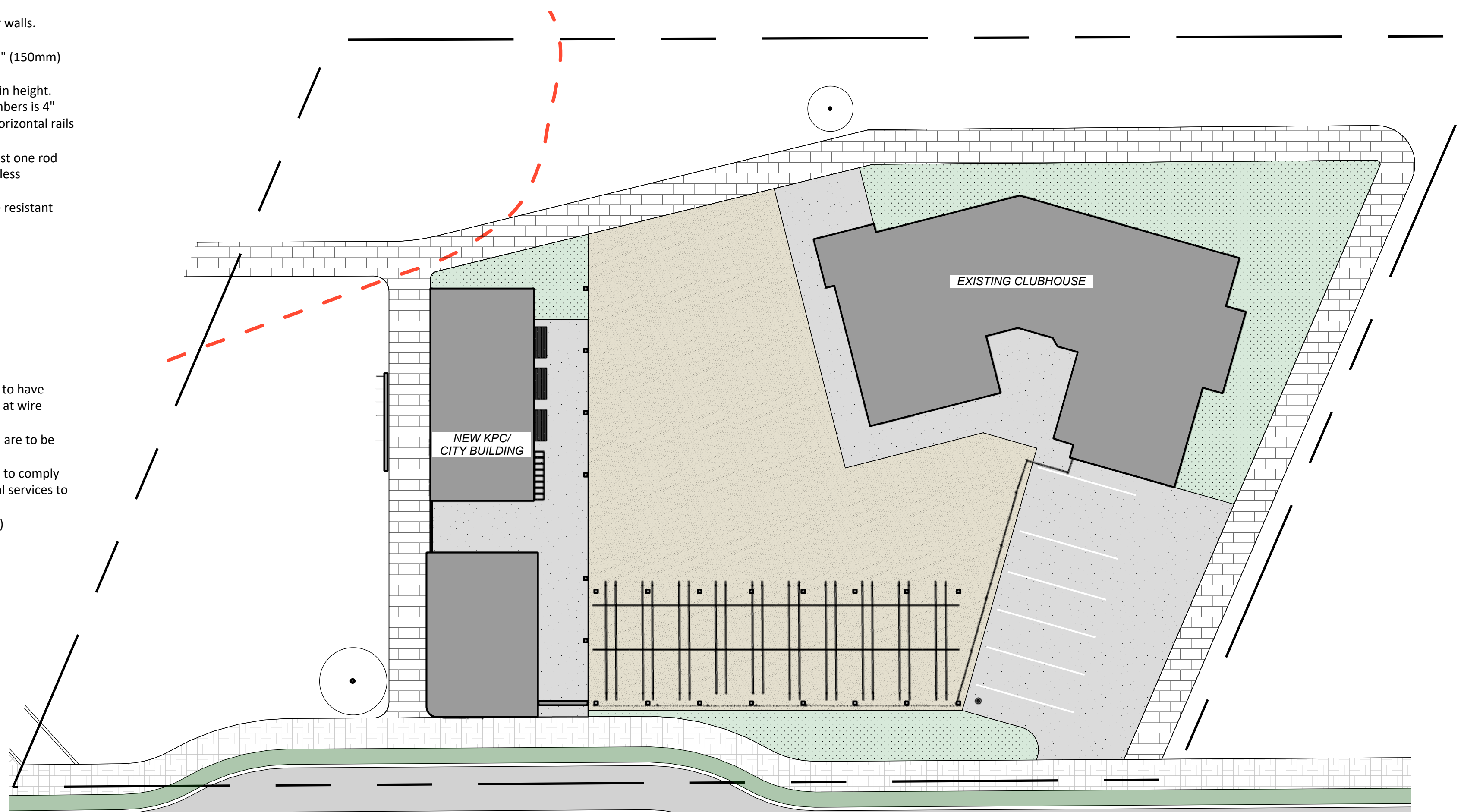
MISCELLANEOUS

- Caulk over and around all exterior openings using non-hardening caulking compound.
- Flash all changes of materials on exterior walls.
- Flash over all exterior openings.
- All siding or stucco to be a minimum of 6" (150mm) above finished grade.
- All balcony railings to be 3'6" (1070mm) in height. Maximum spacing between vertical members is 4" (100mm). Minimum distance between horizontal rails to be 32" (800mm).
- Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated.

Where tubs or showers occur, provide moisture resistant gypsum board.

ELECTRICAL SPECIFICATIONS

- 200AMP service connection.
- All exterior wall electrical junction boxes to have airtight foam gasket, provide spray foam at wire penetration.
- All electrical outlet and fixtures locations are to be confirmed
- All electrical outlets services and fixtures to comply with current electrical codes. All electrical services to be installed by a qualified tradesperson.
- height of standard outlets (center of box)
 - wall outlets 14"
 - switches 46"
 - outlets above countertop 6"



KPC SITE

WALL ASSEMBLY LEGEND

W1	EXT. WALL - STONE VENEER - 1 1/2" (38mm) BLOCK VENEER (VENEER TBD) - METAL TIES - 1" (25mm) AIR GAP TYVECK HOUSE WRAP - TAPE & LAP SEAMS - 1/2" (13mm) OSB SHEATHING - 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. - 6 MIL POLY VAPOUR BARRIER W/ SEALED SEAMS - 1/2" (13mm) GWB *USE TILE BACKER IN WET LOCATIONS	W3	EXT. WALL - LAP SIDING - CEMENT FIBER LAP SIDING (SIZE & FINISH TBD) - TYVECK HOUSE WRAP - TAPE & LAP SEAMS - 1/2" (13mm) OSB SHEATHING - 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. - 6 MIL POLY VAPOUR BARRIER W/ SEALED SEAMS - 1/2" (13mm) GWB	W5	FOUNDATION WALL - PERFORATED WEEPING TILE, DRAIN CLOTH & 6" (152mm) DRAIN ROCK AROUND PERIMETER OF FOOTING - BITUMINOUS DAMP PROOFING TO GRADE - WR MEADOWS PARGE ALL 825 ON - 8" (200mm) CONCRETE FOUNDATION WALL - R20 (4" (100mm) THK.) EPS RIGID INSUL. TYPE 4, MIN. COMP. STRENGTH 25 LBS/PSI
W2	EXT. WALL - WOOD SLAT - 1x6" (19x140mm) VERTICAL T&G SIDING (FINISH TBD) - TYVECK HOUSE WRAP - TAPE & LAP SEAMS - 1/2" (13mm) OSB SHEATHING - 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. - 6 MIL POLY VAPOUR BARRIER W/ SEALED SEAMS - 1/2" (13mm) GWB	W4	EXT. WALL - STUCCO SIDING - STUCCO FINISH (COLOUR TBD) - METAL LATHE FURRING CHANNEL - 3/8" DRAINAGE MAT - TYVECK HOUSE WRAP - TAPE & LAP SEAMS - 1/2" (13mm) OSB SHEATHING - 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. - 6 MIL POLY VAPOUR BARRIER W/ SEALED SEAMS - 1/2" (13mm) GWB	W6	INT. WALL - 2x4 - 1/2" (13mm) GWB - 2x4" (38x89mm) STUDS @ 16" (406mm) O.C. - 1/2" (13mm) GWB
		W7		W7a	INT. WALL - 2x6 (SOUND INSUL) - 1/2" (13mm) GWB - 2x6" (38x140mm) STUDS @ 16" (406mm) O.C. - 1/2" (13mm) GWB
		W6a			INT. WALL - 2x4 (SOUND INSUL). - 1/2" (13mm) GWB - 2x4" (38x89mm) STUDS @ 16" (406mm) O.C. - SOUND INSUL TO SUIT STUD CAVITY - 1/2" (13mm) GWB

CODE SUMMARY

MUNICIPAL ADDRESS	730 VAUGHAN AVE, KELOWNA, BC
LEGAL ADDRESS	N/A
ZONE	UC5
BUILDING AREA	274.45 SM 2,954.20 SF
MAJOR OCCUPANCY	Group A, Div. 2 Assembly
OL (9.3 m2 Per Person. Table 3.1.17.1)	168
WATER CLOSETS (Per Table 3.7.2.2-B)	
NUMBER OF PERSONS OF EACH SEX	84
REQUIRED WATER CLOSETS	6 TOTAL
PROVIDED WATER CLOSETS	5 IN DESIGNATED WASHROOM AREA. 1 IN STAFF ROOM.
TRAVEL DISTANCE	
MAX ALLOWABLE TRAVEL DISTANCE	45m (As Per 3.4.2.5.1)c)
ACTUAL TRAVEL DISTANCE	20m

ABBREVIATIONS

AFF	ALUM.	BTWN.	CLR	F/W	GWB	O.C.	OSB	P.T.	U/S	V.O.S.	W/
	ALUMINUM	BETWEEN	CLEAR	FASTENED WITH	GYPSUM WALL BOARD	ON CENTER	ORIENTED STRAND BOARD	PRESSURE TREATED	UNDER SIDE	VERIFY ON SITE	WITH

SHEET INDEX

ARCHITECTURAL DRAWINGS
A0 DATA SHEET
A2.1 FLOOR PLANS
A2.2 FINISH / ELEC PLANS

ROOF ASSEMBLY LEGEND

R1	TRUSS ROOF - LOW SLOPE (NEW BLDG.) - 2-PLY SBS ROOF MEMBRANE - 3/4" (19mm) EXTERIOR OSB SHEATHING - TRUSSES AS PER TRUSS MANUF. - BATT INSUL TO SUIT TRUSS CAVITIES - 6MIL POLY VAPOUR BARRIER. TAPE & LAP JOINTS - 5/8" (16mm) GWB *WHERE ROOF OVERHANGS EXT. WALL USE T&G SOFFIT C/W VENT STRIPS (COLOUR TBD)
R2	TRUSS ROOF - LOW SLOPE (CLUBHOUSE) - 2-PLY SBS ROOF MEMBRANE - 3/4" (19mm) EXTERIOR OSB SHEATHING - TRUSSES AS PER TRUSS MANUF. - BATT INSUL TO SUIT TRUSS CAVITIES - 6MIL POLY VAPOUR BARRIER. TAPE & LAP JOINTS - 5/8" (16mm) GWB *WHERE ROOF OVERHANGS EXT. WALL USE ALUM. SOFFIT C/W VENT STRIPS

FLOOR ASSEMBLY LEGEND

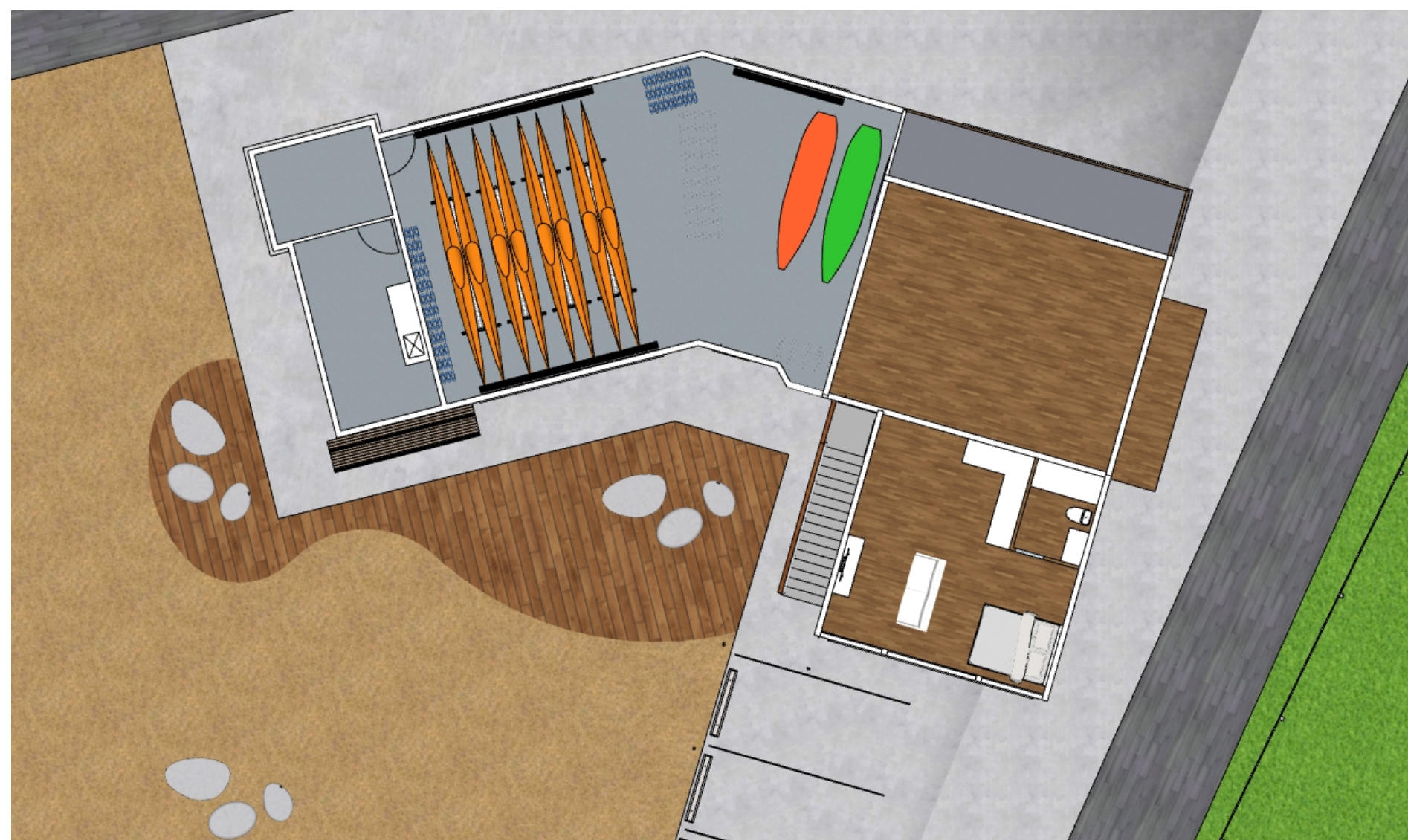
F1	EXISTING CLUBHOUSE FLOOR - NEW FINISH - NEW POLYURETHANE TRAFFIC DECK COATING - EXISTING 3/4" (19mm) OSB SHEATHING - EXISTING 2x10" (38x235mm) FLOOR JOISTS @ 16" (406mm) O.C.
F2	EXISTING CLUBHOUSE 2ND FLOOR - EXISTING SUBFLOOR - EXISTING 2x10" (38x235mm) FLOOR JOISTS @ 16" (406mm) O.C. - 5/8" (16mm) GWB
F3	NEW BUILDING SLAB ON GRADE - 4" CONCRETE SLAB ON GRADE ON 6x6" (152x152mm) 10-ga WWM REINFORCING ON CHAIRS - 6MIL POLY VAPOUR BARRIER. TAPE & LAP JOINTS - R15 (3" (76mm) THICK) EPS RIGID INSUL. TYPE 4 MIN. COMP. STRENGTH 25 LBS/PSI - COMPACTED GRANULAR FILL & PREPARED SUBGRADE - REFER TO GEOTECH REPORT IF AVAILABLE



NEW BUILDING FLOOR PLAN



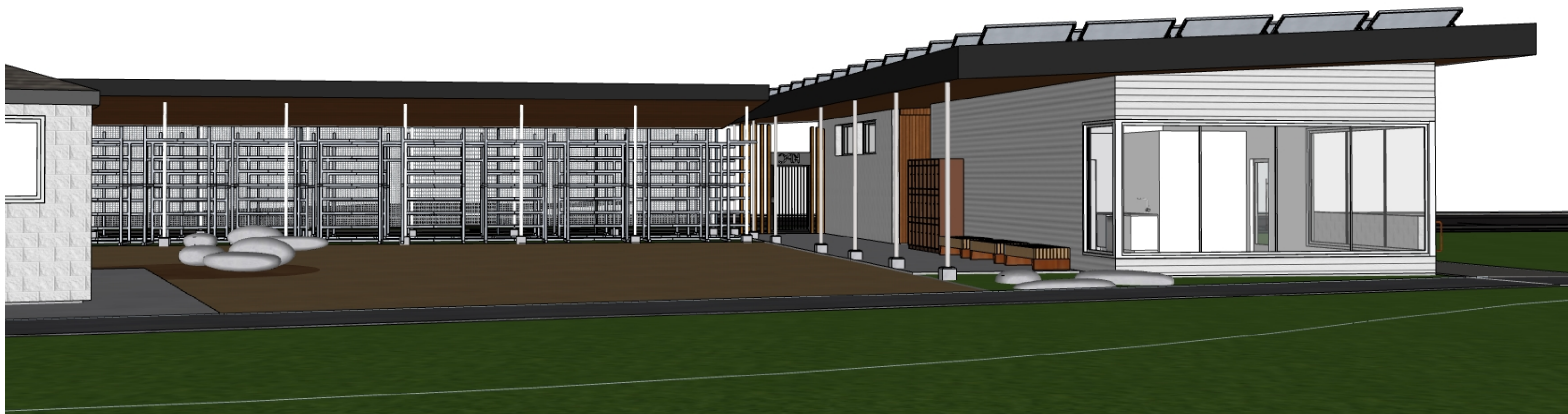
CLUBHOUSE MAIN FLOOR PLAN



CLUBHOUSE TOP FLOOR PLAN



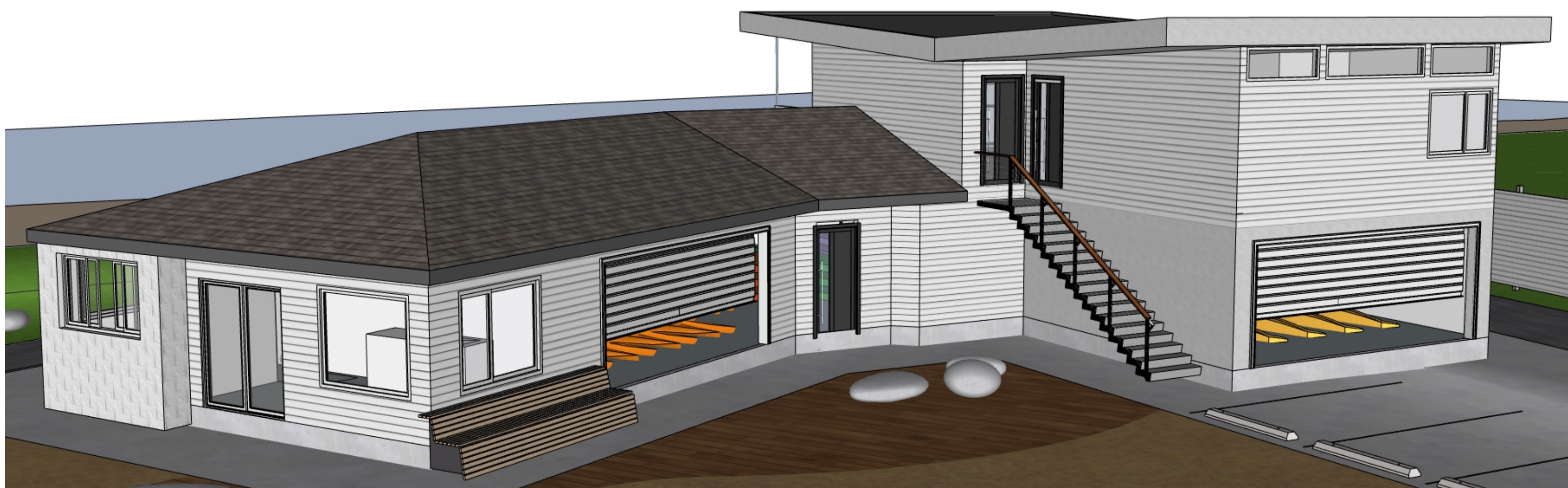
NEW BLDG PERSPECTIVE FROM STREET



NEW BLDG PERSPECTIVE FROM LAKE



CLUBHOUSE PERSPECTIVE FROM LAKE



CLUBHOUSE PERSPECTIVE COURTYARD



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Kelowna Paddle Center

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City, State:

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PERSPECTIVE

A0.1



SITE PLAN PERSPECTIVE



NEW BUILDING CURVED WALL



NEW BLDG OUTDOOR COVERED AREA



CLUBHOUSE ROOF AT LAKE SIDE



CLUB HOUSE BUILDING ADDITION



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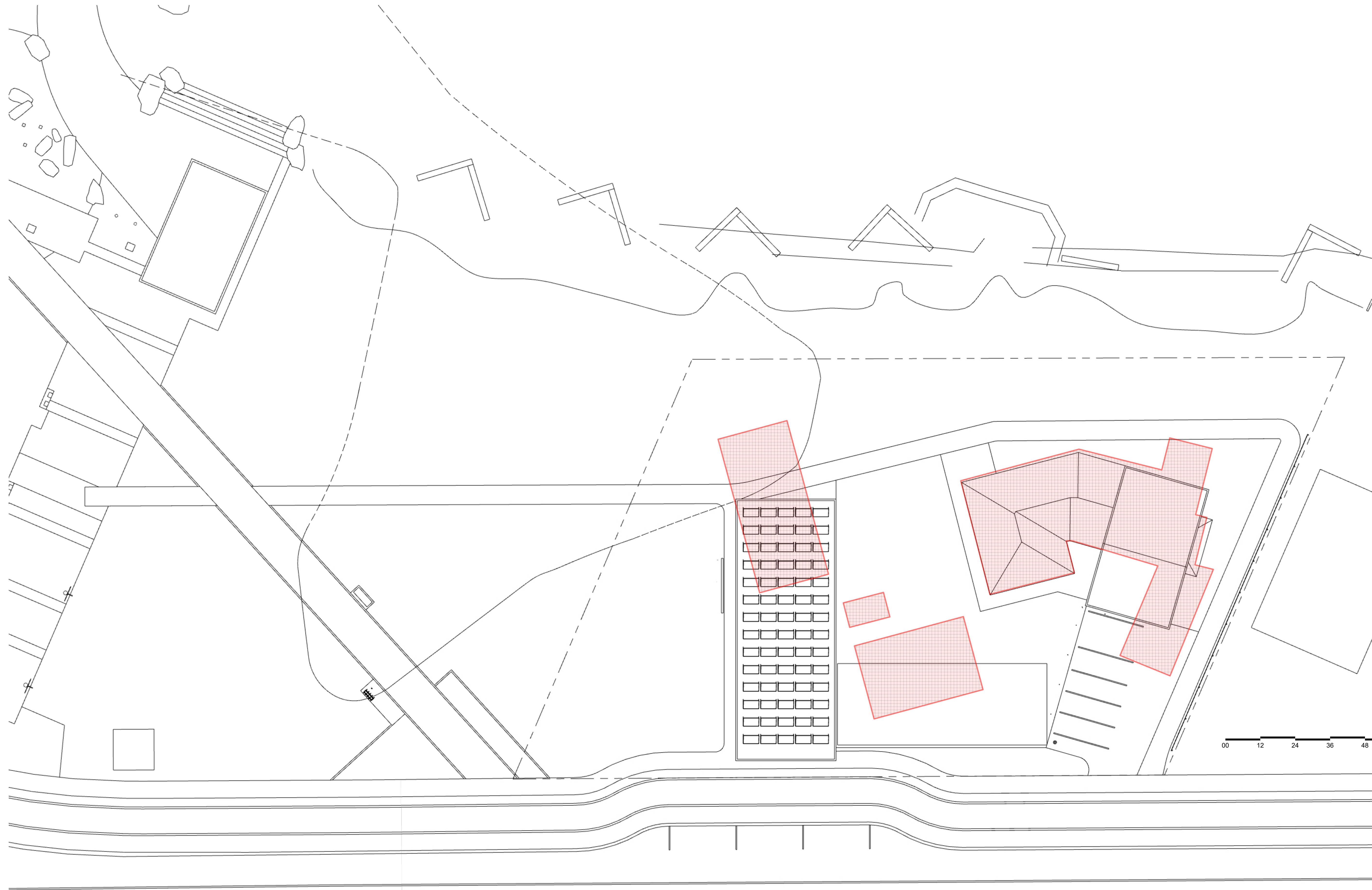
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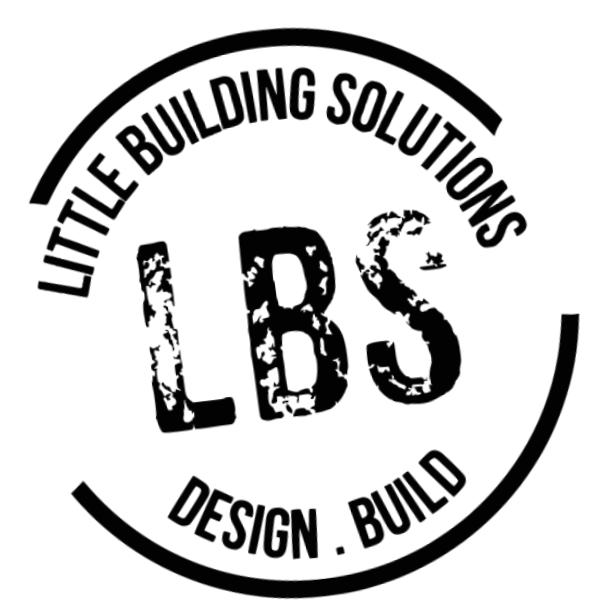
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PERSPECTIVE 2

A0.2



EXISTING BUILDINGS



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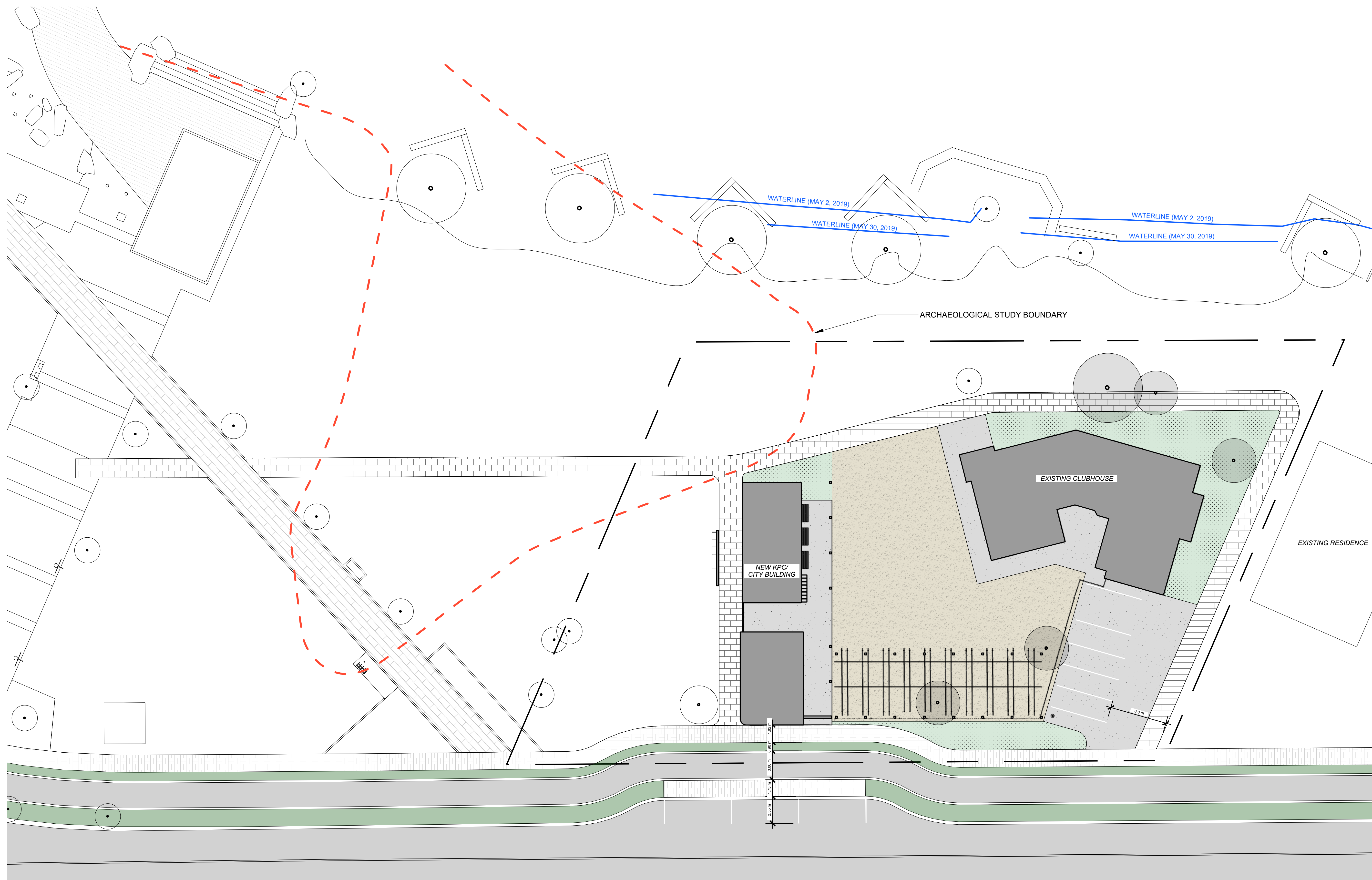
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OVERLAY PLAN

A0.3

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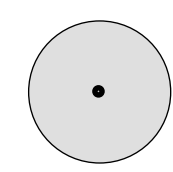
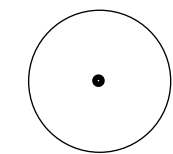
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SITE PLAN

A2.1

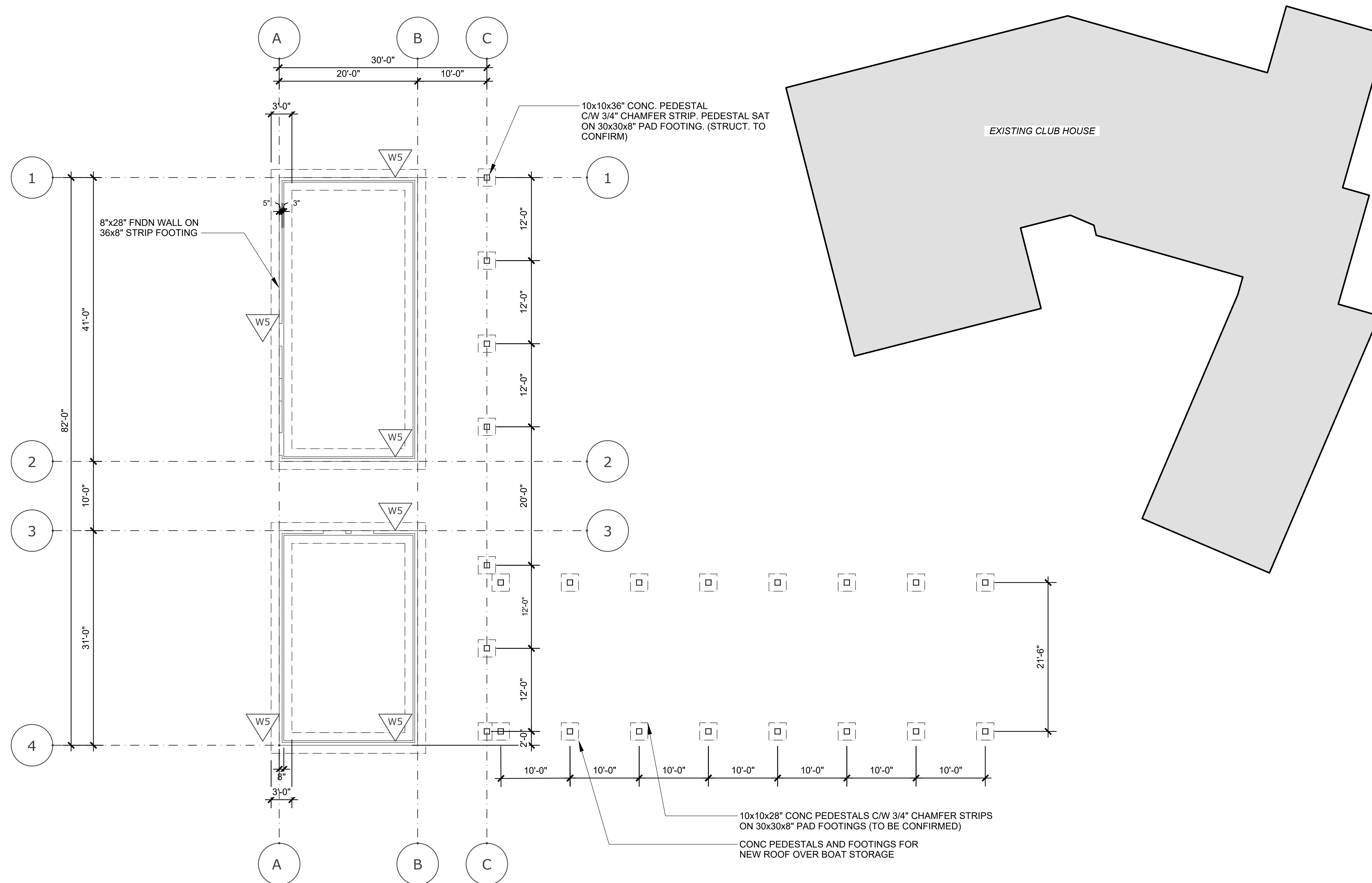
1 SITE PLAN
 A2.1 1/16" = 1'-0"

-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO REMAIN

NOTES:
 - ALL FOOTING AND FOUNDATION SIZES TO BE CONFIRMED BY STRUCTURAL ENGINEER.



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NEW BLDG FOUNDATION

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- NOTES:**
- ALL NEW WINDOWS TO BE TRIPLE PANE
 - TILE ALL WALLS IN SHOWERS (TILE TBD)
 - EXISTING LANDSCAPING TO REMAIN WHERE POSSIBLE
 - T&G CEILING AND SOFFIT ON NEW ROOFS



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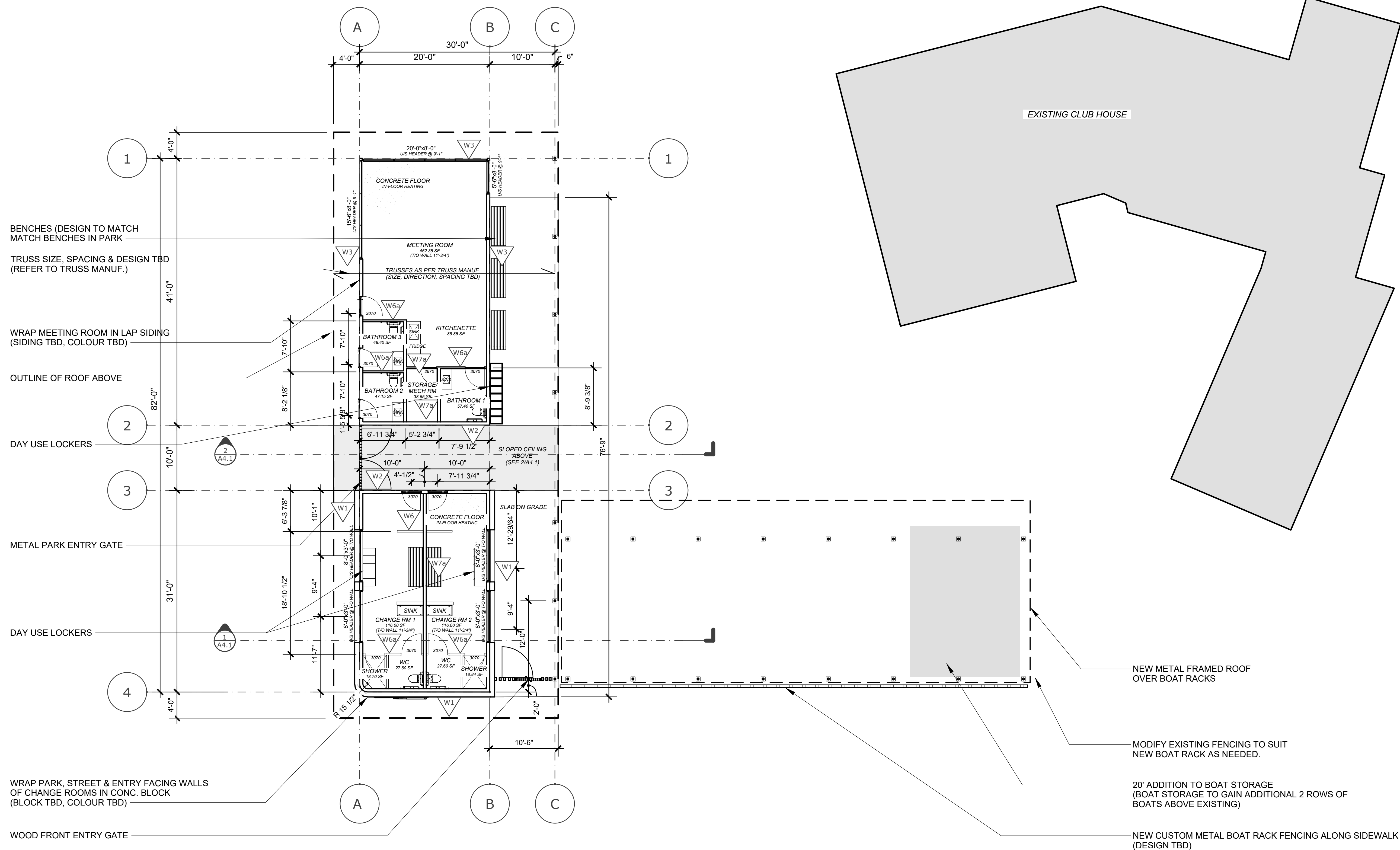
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NEW METAL FRAMED ROOF OVER BOAT RACKS

MODIFY EXISTING FENCING TO SUIT NEW BOAT RACK AS NEEDED.

20' ADDITION TO BOAT STORAGE (BOAT STORAGE TO GAIN ADDITIONAL 2 ROWS OF BOATS ABOVE EXISTING)

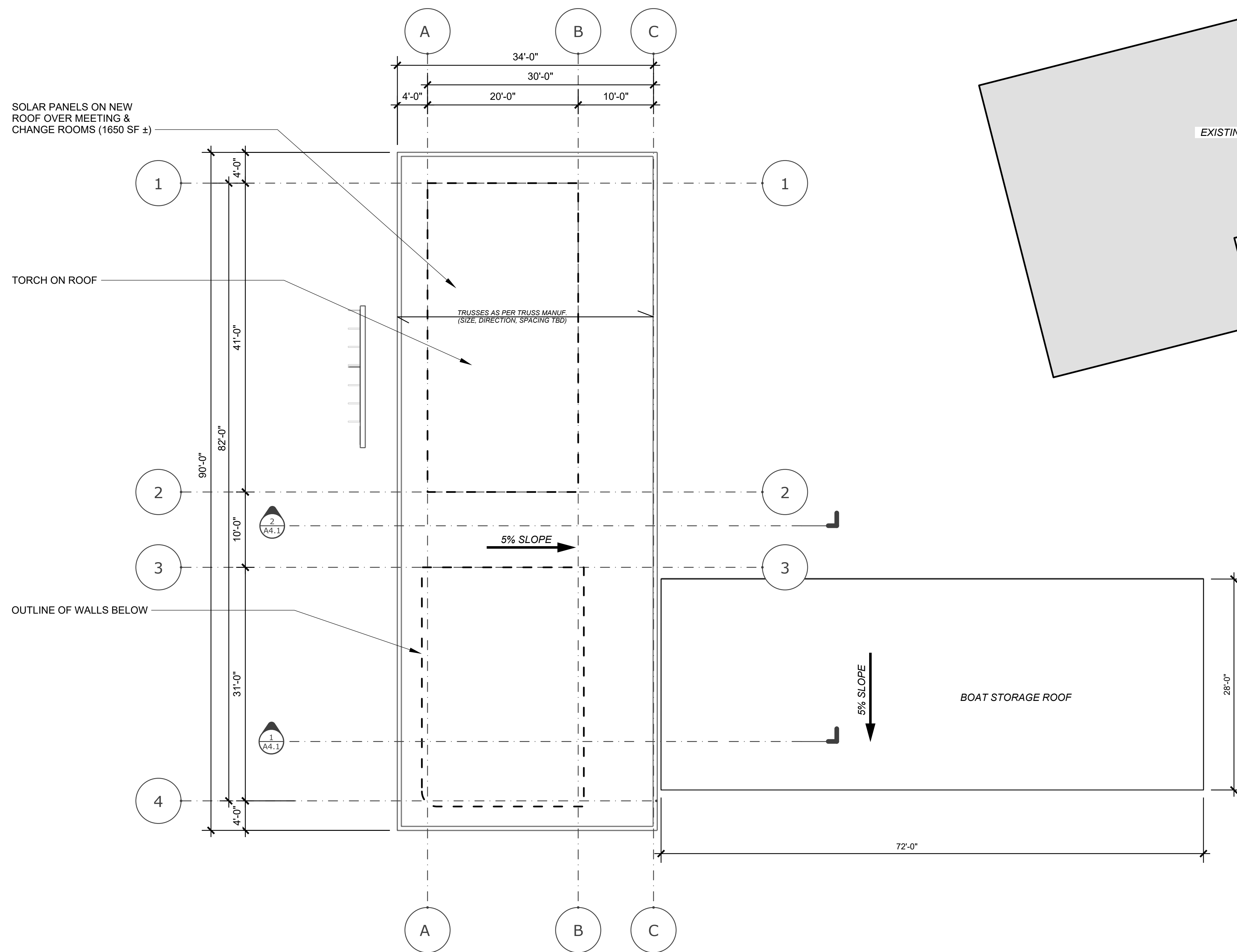
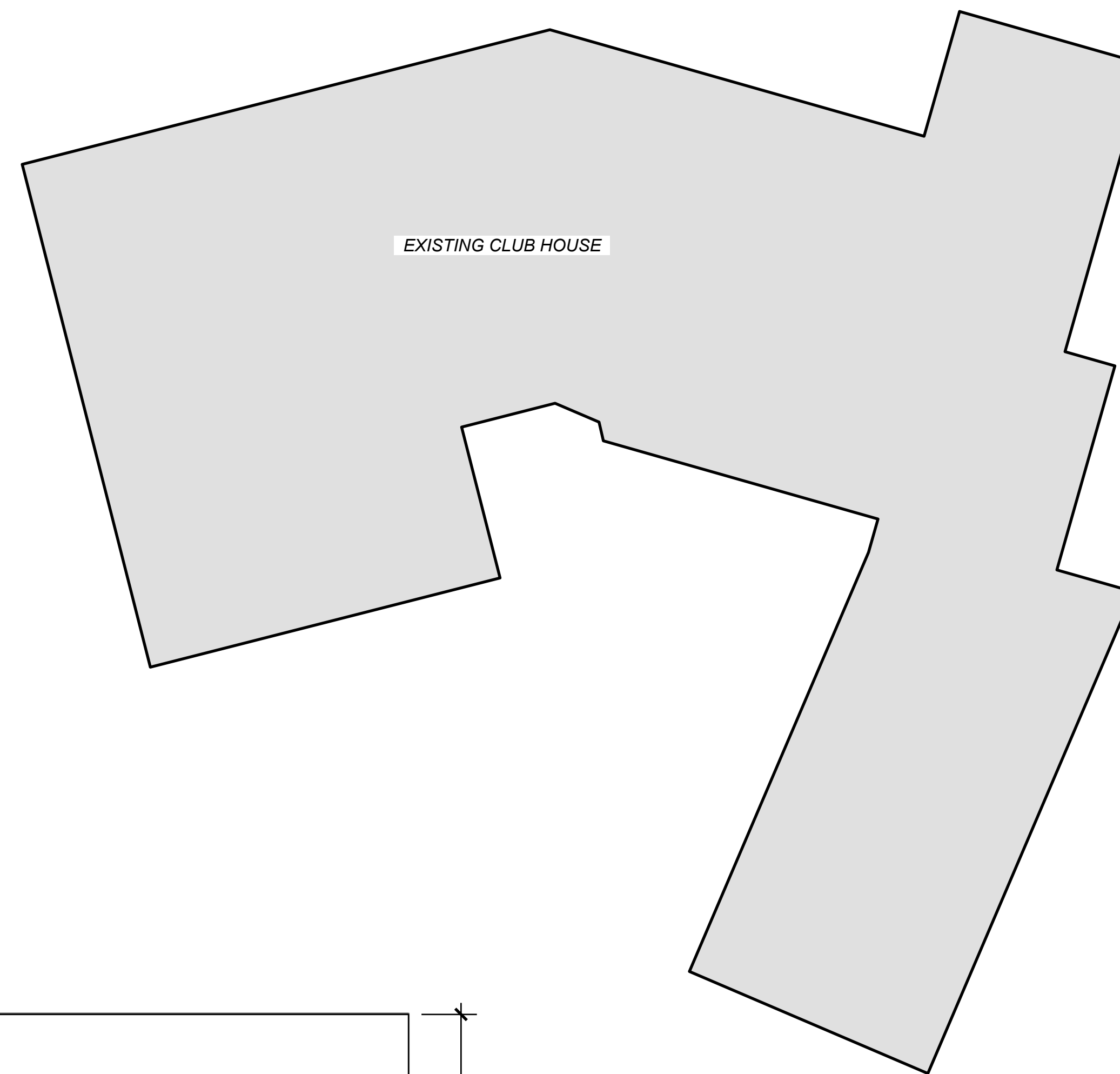
NEW CUSTOM METAL BOAT RACK FENCING ALONG SIDEWALK (DESIGN TBD)

- NOTES:**
- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
 - ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
 - BEAM LOCATIONS & TYPES TBD

1 NEW BLDG FLOOR PLAN
A2.3 1/8" = 1'-0"

NEW BLDG
FLOOR PLAN

A2.3



NOTES:

- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
- ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
- BEAM LOCATIONS & TYPES TBD

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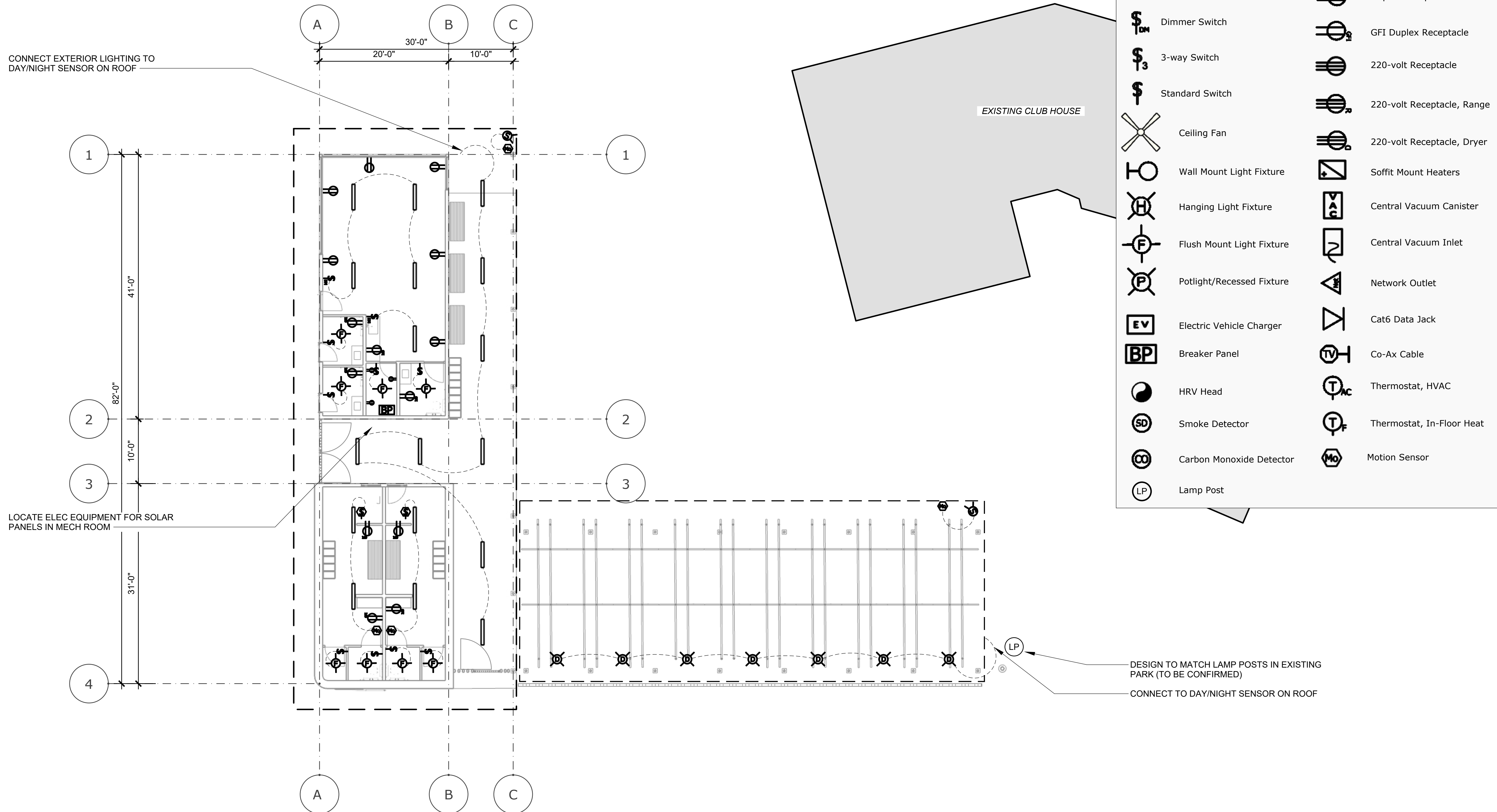
**NEW BLDG
 ROOF PLAN**

1 NEW BLDG ROOF PLAN
 A2.4 1/8" = 1'-0"

A2.4

NOTES:

- ALL NEW WINDOWS TO BE TRIPLE PANE
- TILE ALL WALLS IN SHOWERS (TILE TBD)
- EXISTING LANDSCAPING TO REMAIN WHERE POSSIBLE
- ALL 4'x6" LED LIGHT FIXTURES TO BE FLUSH MOUNTED IN T&G WOOD SOFFIT



	4' x 6" LED Light Fixture		Spotlight
	4-way Switch		Gimbal Potlight (Directional)
	Sensor Switch		20amp Duplex Receptacle
	HRV Switch		Duplex Receptacle
	Dimmer Switch		GFI Duplex Receptacle
	3-way Switch		220-volt Receptacle
	Standard Switch		220-volt Receptacle, Range
	Ceiling Fan		220-volt Receptacle, Dryer
	Wall Mount Light Fixture		Soffit Mount Heaters
	Hanging Light Fixture		Central Vacuum Canister
	Flush Mount Light Fixture		Central Vacuum Inlet
	Potlight/Recessed Fixture		Network Outlet
	Electric Vehicle Charger		Cat6 Data Jack
	Breaker Panel		Co-Ax Cable
	HRV Head		Thermostat, HVAC
	Smoke Detector		Thermostat, In-Floor Heat
	Carbon Monoxide Detector		Motion Sensor
	Lamp Post		



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NEW BLDG ELEC PLAN

A2.5

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 Project #

KELOWNA PADDLE CENTER

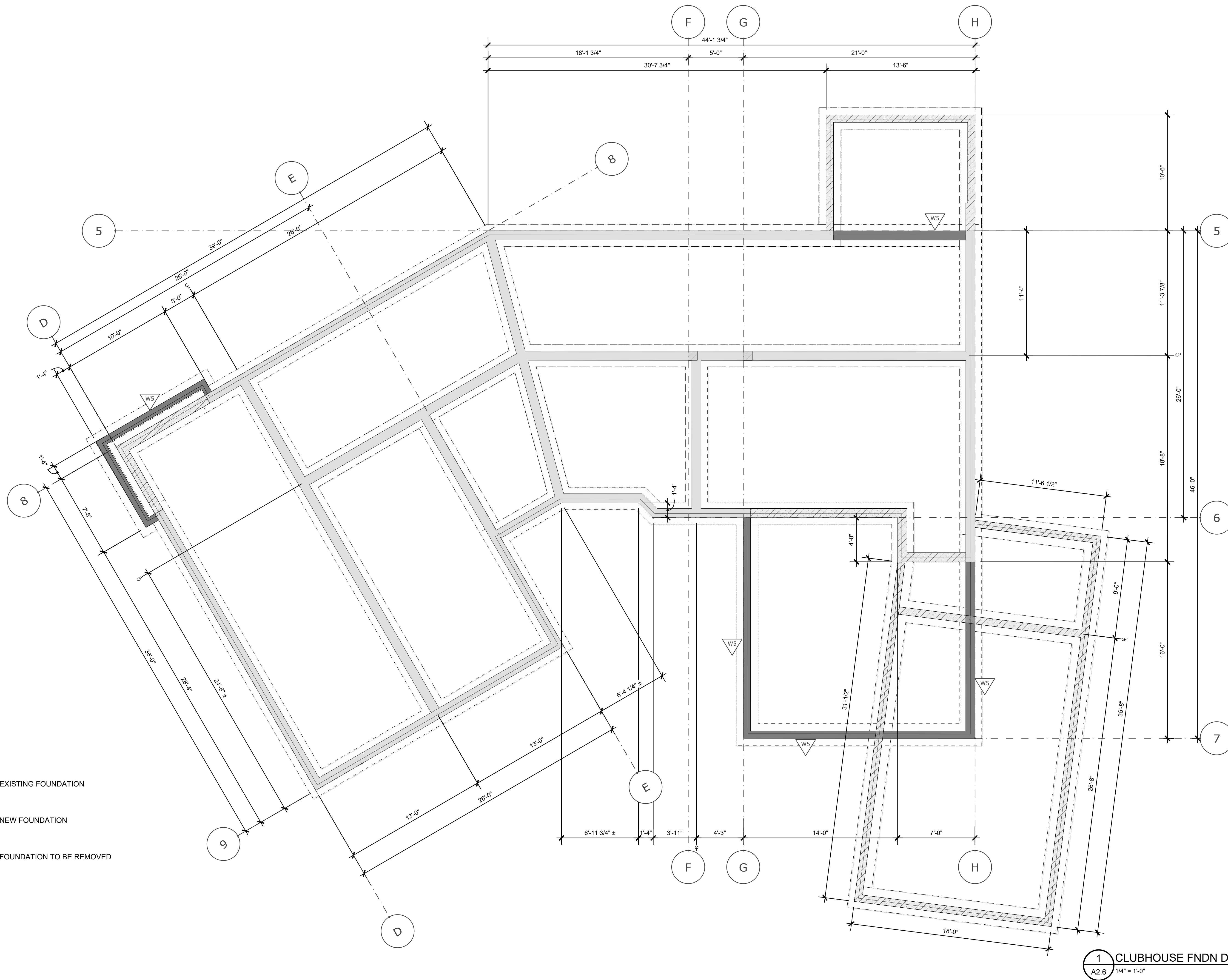
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CLUBHOUSE
 FNDN DEMO

A2.6



- EXISTING FOUNDATION
- NEW FOUNDATION
- FOUNDATION TO BE REMOVED

1 CLUBHOUSE FNDN DEMO
 A2.6 1/4" = 1'-0"

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KELOWNA PADDLE CENTER

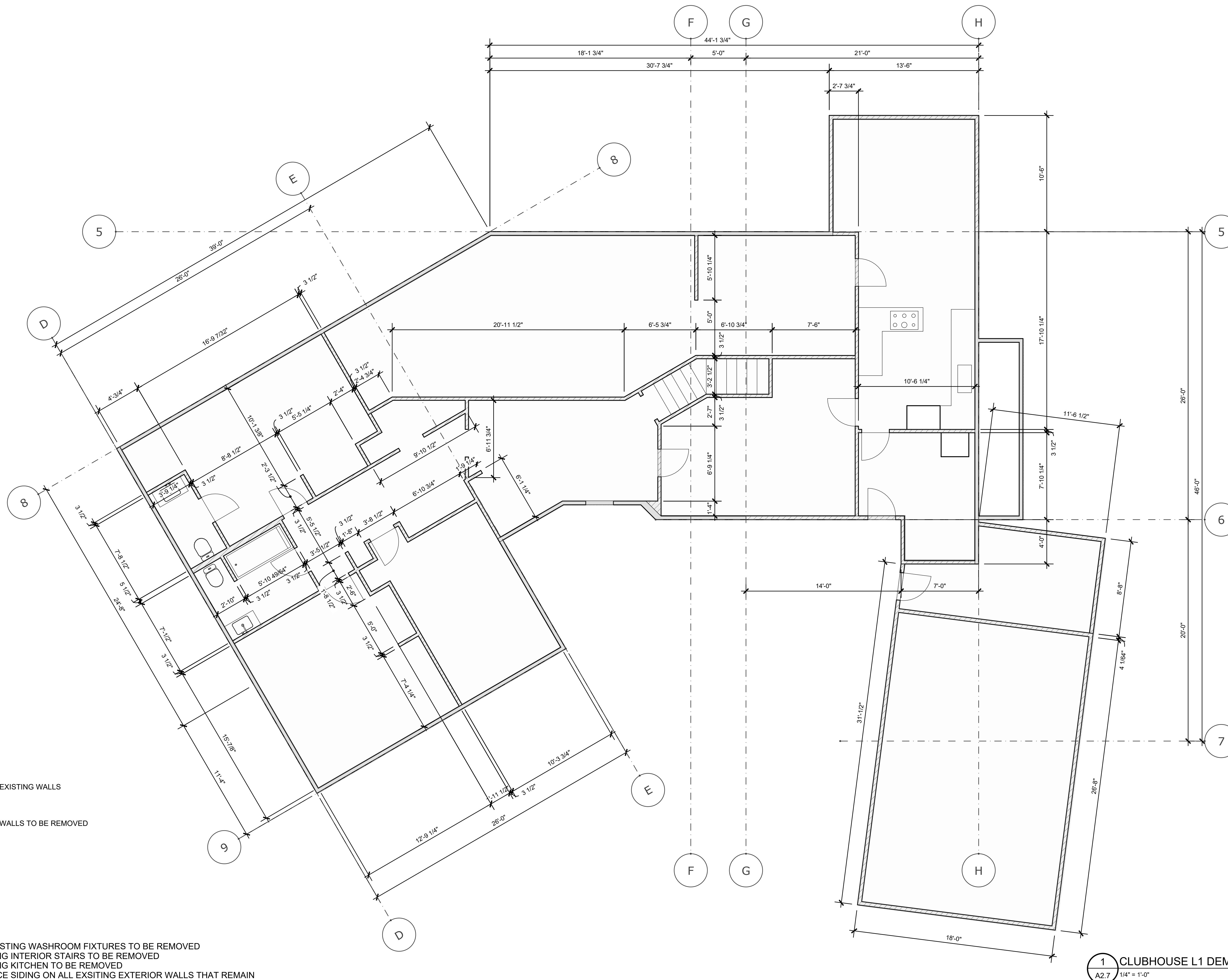
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CLUBHOUSE L1
 DEMO PLAN

A2.7



EXISTING WALLS
 WALLS TO BE REMOVED

NOTES:

- ALL EXISTING WASHROOM FIXTURES TO BE REMOVED
- EXISTING INTERIOR STAIRS TO BE REMOVED
- EXISTING KITCHEN TO BE REMOVED
- REPLACE SIDING ON ALL EXSITING EXTERIOR WALLS THAT REMAIN

1 CLUBHOUSE L1 DEMO PLAN
 A2.7 1/4" = 1'-0"

KELOWNA PADDLE CENTER

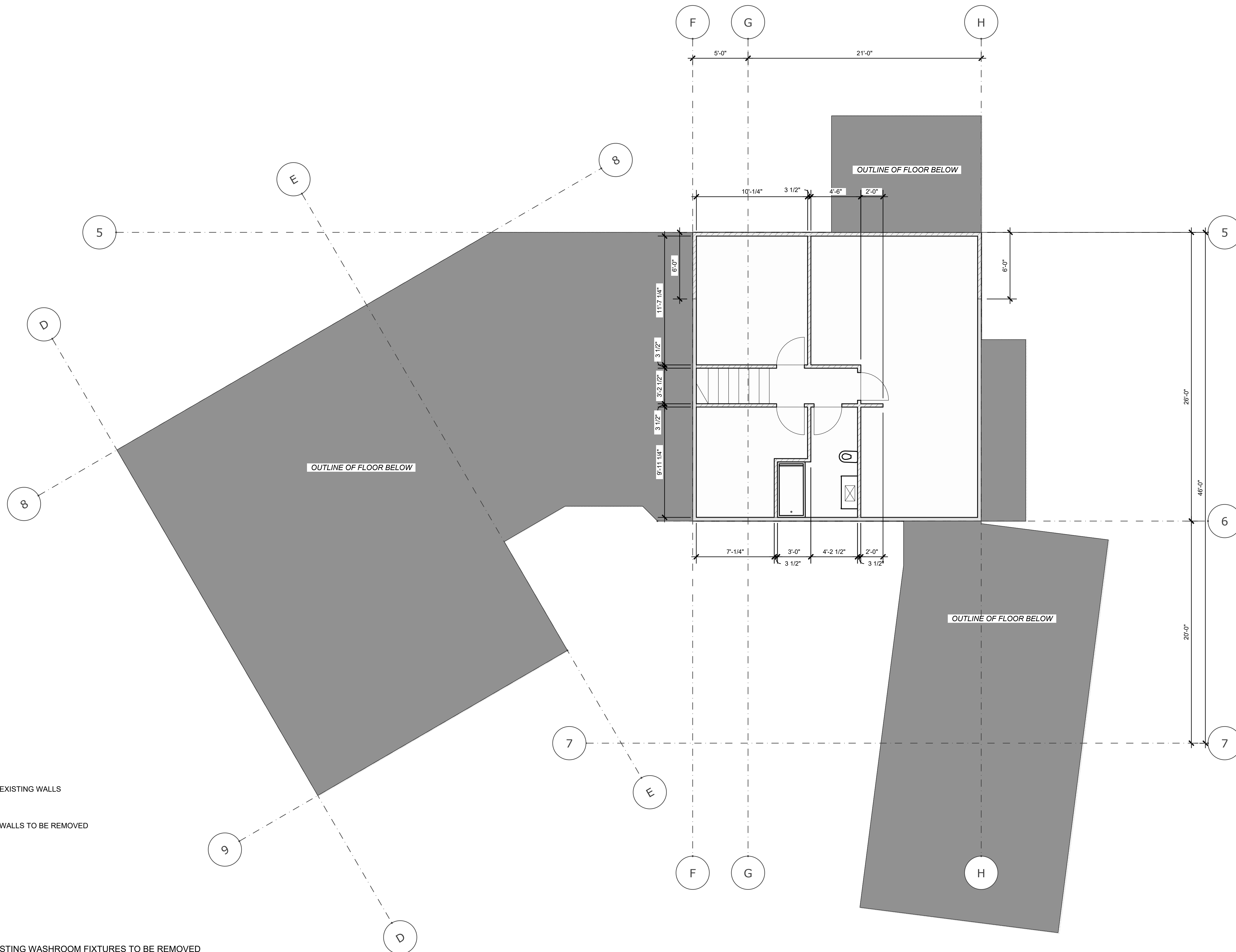
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CLUBHOUSE L2
 DEMO PLAN

A2.8



- EXISTING WALLS
- WALLS TO BE REMOVED

- NOTES:**
- ALL EXISTING WASHROOM FIXTURES TO BE REMOVED
 - EXISTING INTERIOR STAIRS TO BE REMOVED
 - EXISTING KITCHEN TO BE REMOVED
 - REPLACE ALL SIDING ON EXISTING EXTERIOR WALLS THAT REMAIN

1 CLUBHOUSE L2 DEMO PLAN
 A2.8 1/4" = 1'-0"



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 design@littlebuildingsolutions.com

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 City, State:

Kelowna Paddle Center
 Project Type:
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KELOWNA PADDLE CENTER

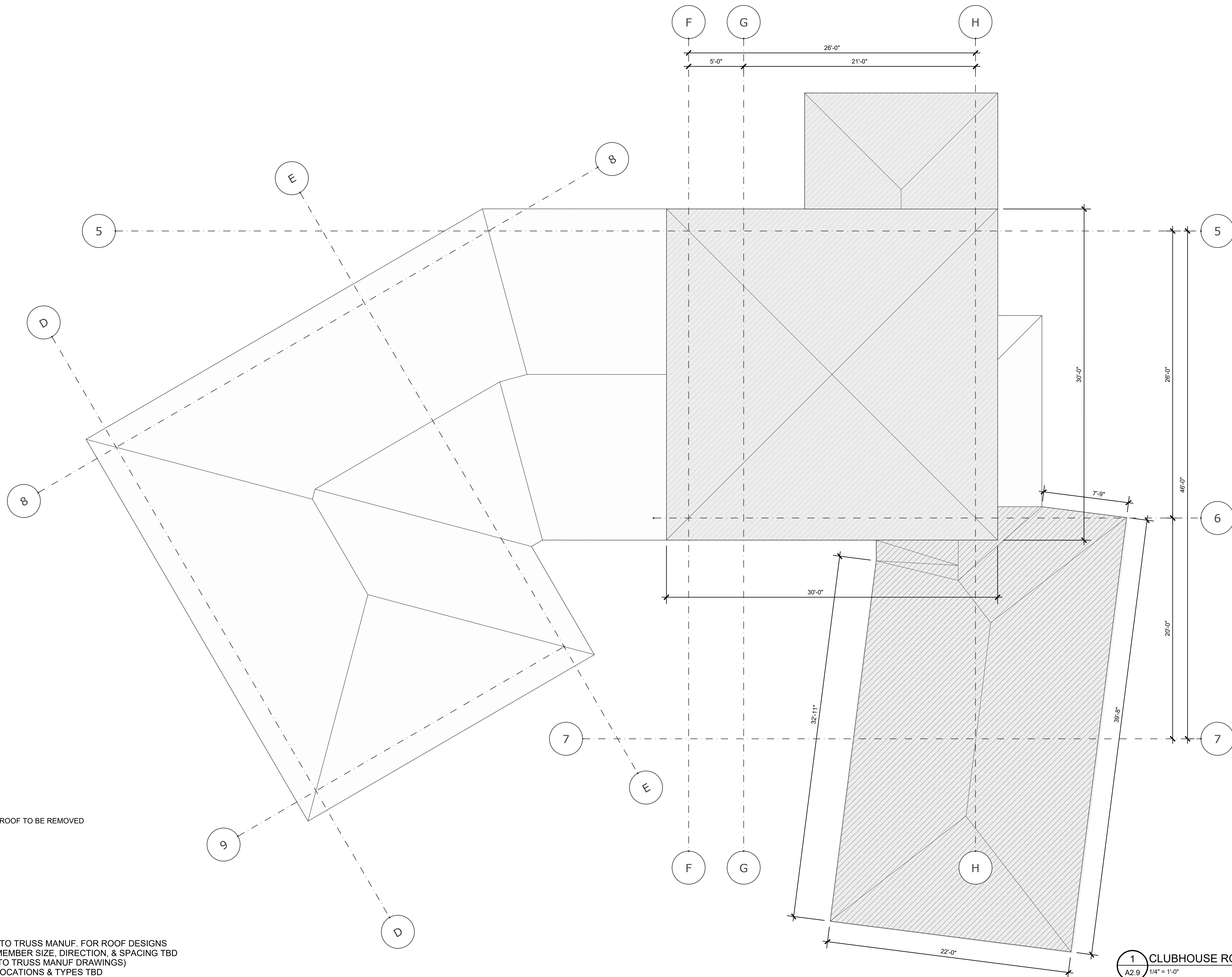
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CLUBHOUSE ROOF DEMO

A2.9



ROOF TO BE REMOVED

NOTES:

- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
- ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
- BEAM LOCATIONS & TYPES TBD

KELOWNA PADDLE CENTER

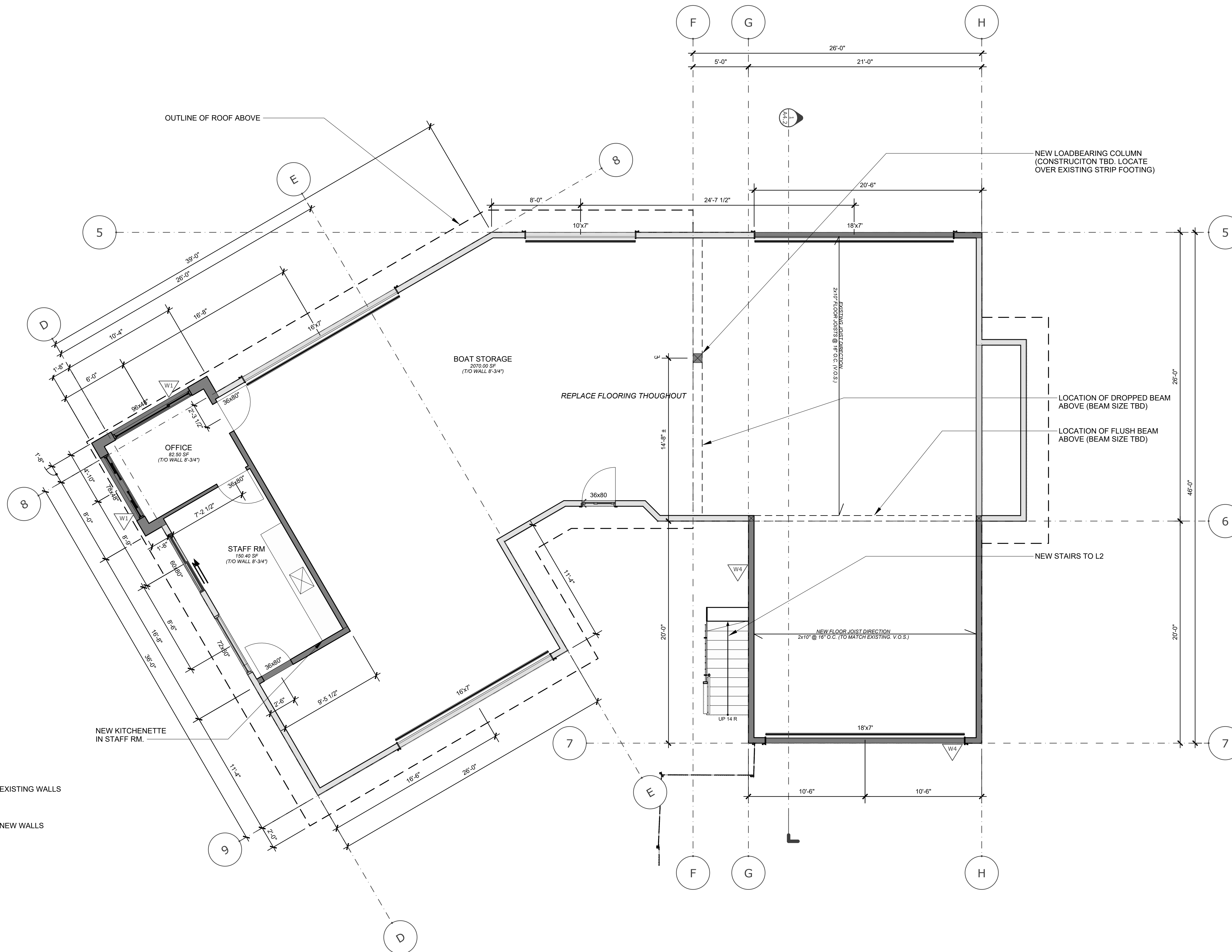
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CLUBHOUSE L1
 PROPOSED

A2.10



NOTES:

- ALL NEW EXTERIOR DOORS
- ALL NEW ROLLER DOORS

KELOWNA PADDLE CENTER

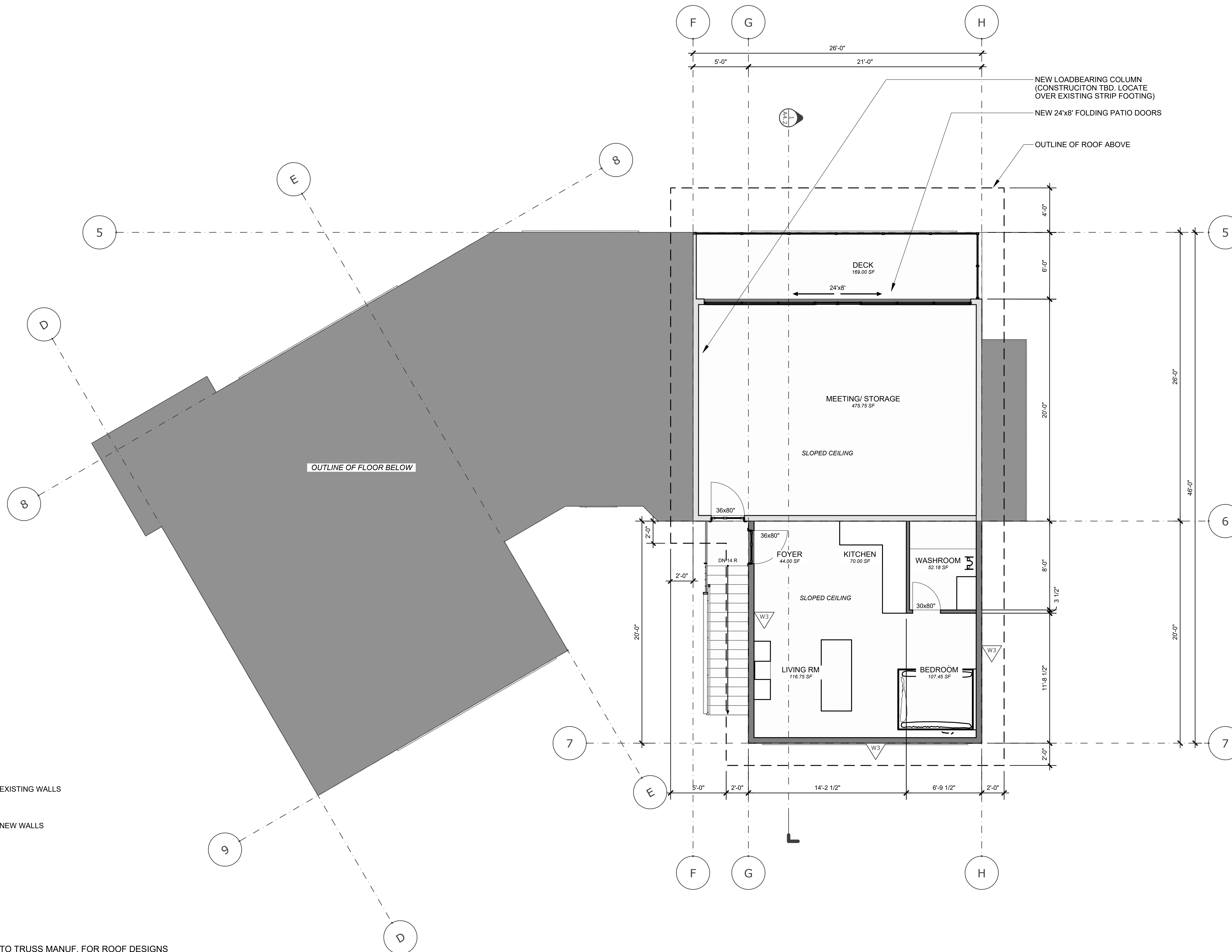
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CLUBHOUSE L2
 PROPOSED

A2.11



EXISTING WALLS
 NEW WALLS

NOTES:

- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
- ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
- BEAM LOCATIONS & TYPES TBD

1 CLUBHOUSE L2 PROPOSED
 A2.11 1/4" = 1'-0"

KELOWNA PADDLE CENTER

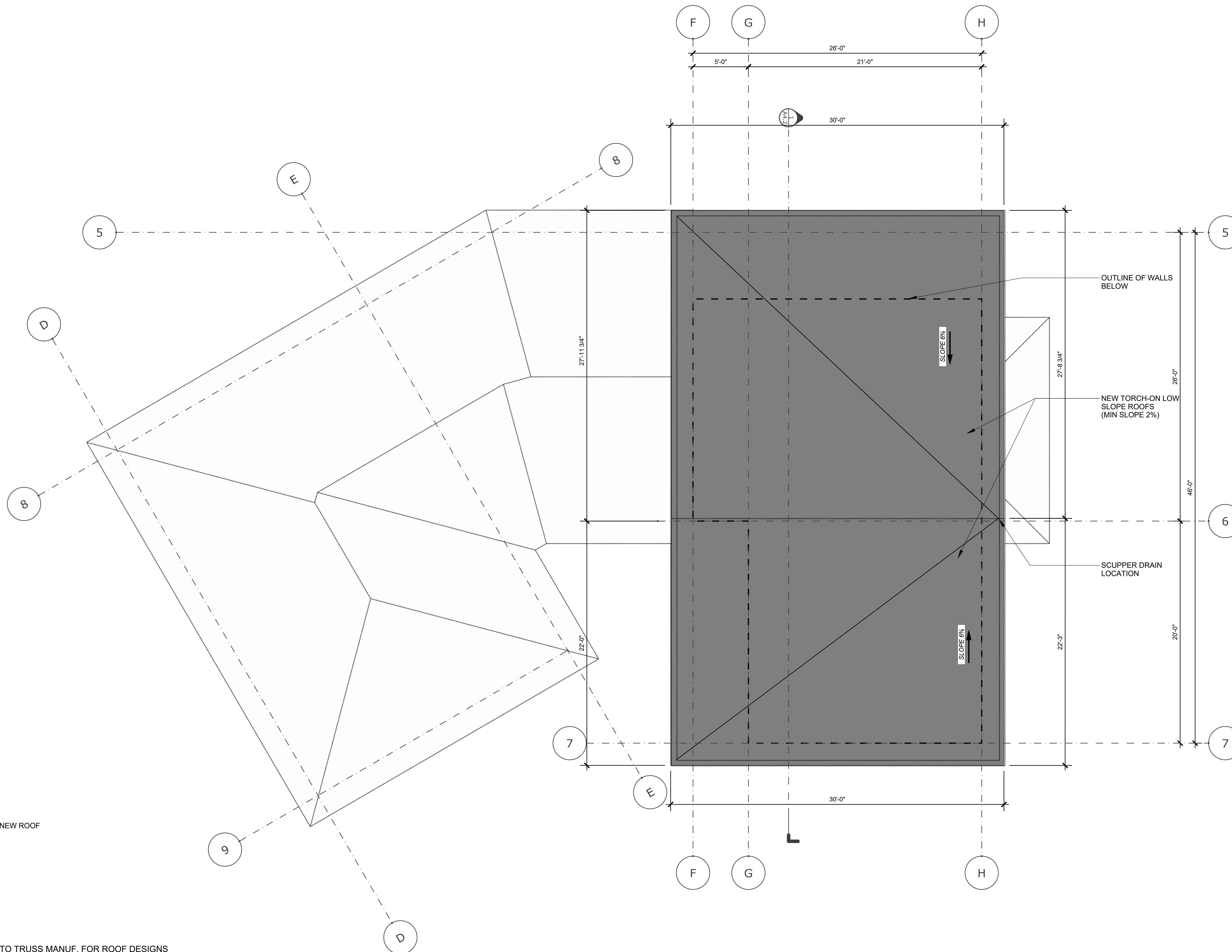
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CLUBHOUSE
 PROPOSED

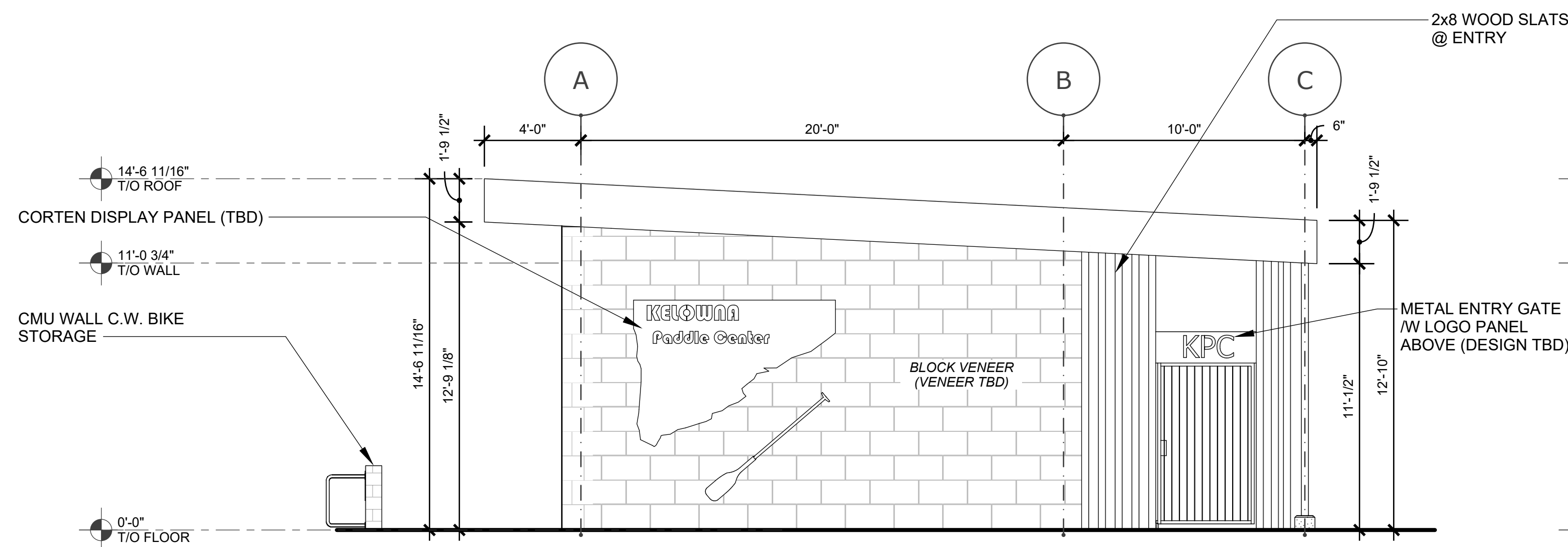
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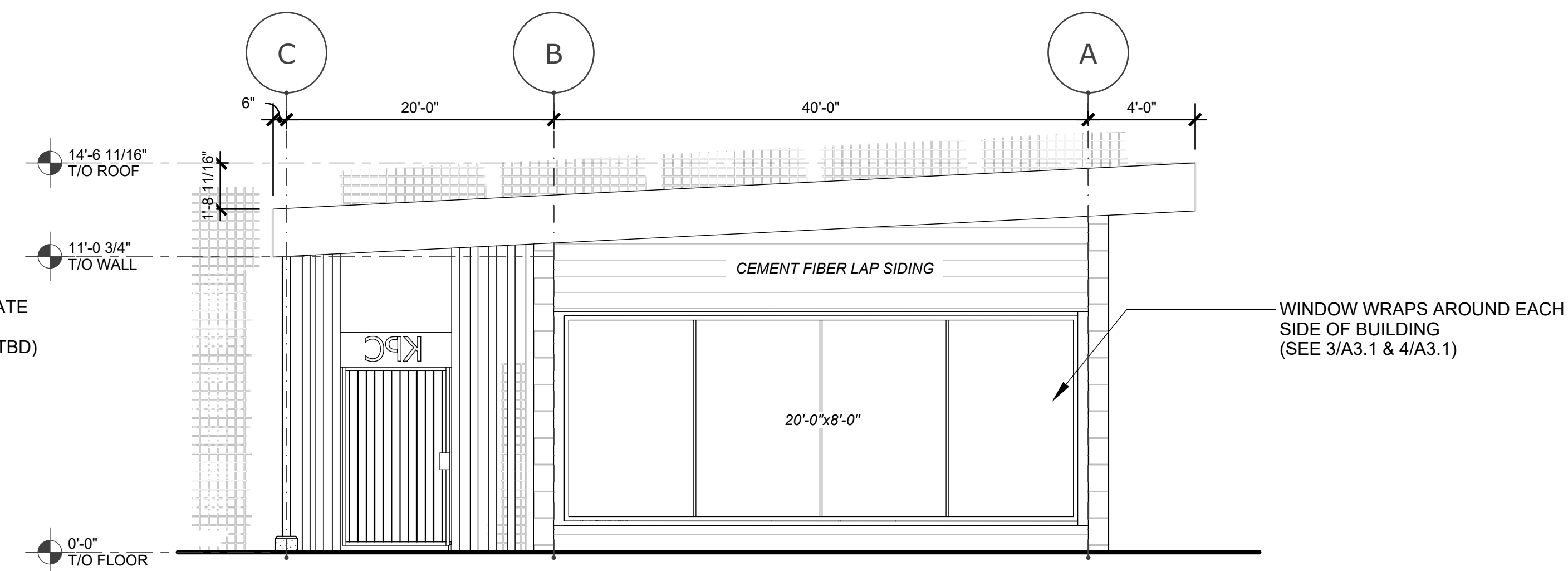
NEW ROOF

- NOTES:**
- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
 - ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
 - BEAM LOCATIONS & TYPES TBD

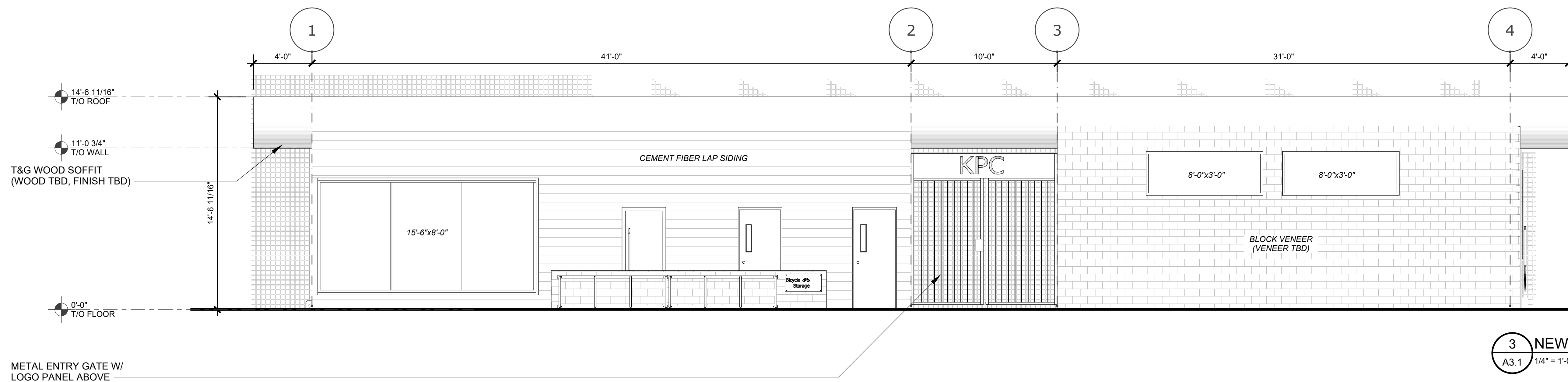
1 CLUBHOUSE PROPOSED ROOF
 A2.12 1/4" = 1'-0"



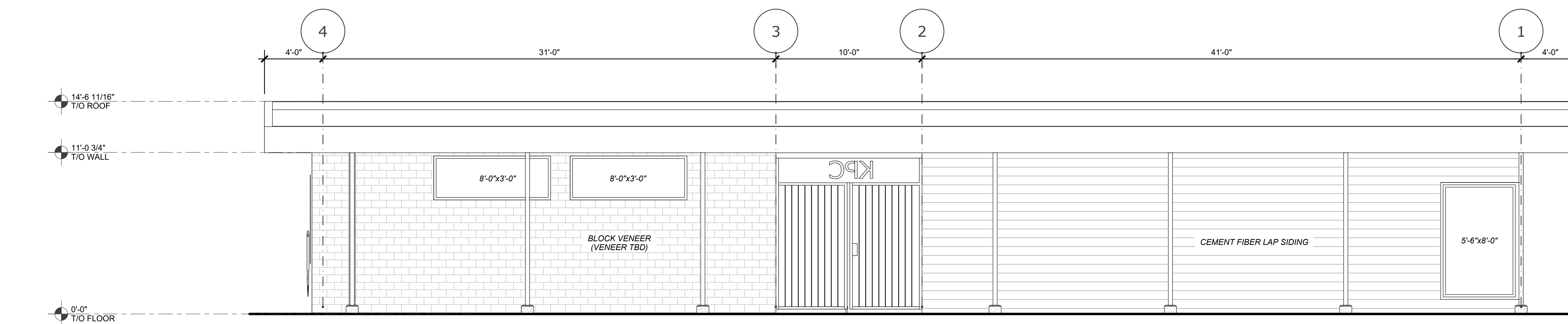
1 NEW BLDG SOUTH ELEV.
 A3.1 1/4" = 1'-0"



2 NEW BLDG ELEVATIONS
 A3.1 1/4" = 1'-0"



3 NEW BLDG WEST ELEV.
 A3.1 1/4" = 1'-0"



4 NEW BLDG EAST ELEV.
 A3.1 1/4" = 1'-0"

KELOWNA PADDLE CENTER

Kelowna Paddle Center

Project #

Street: City, State:

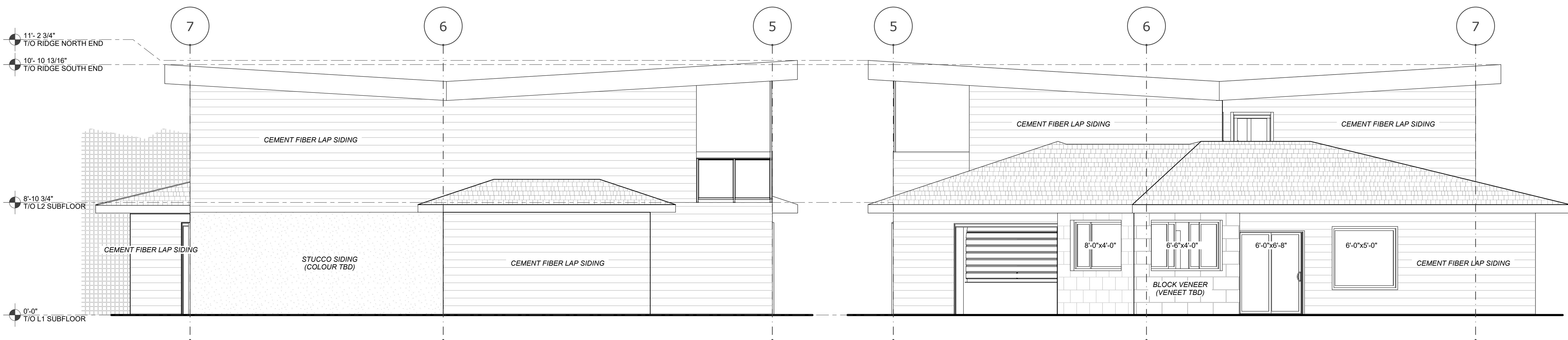
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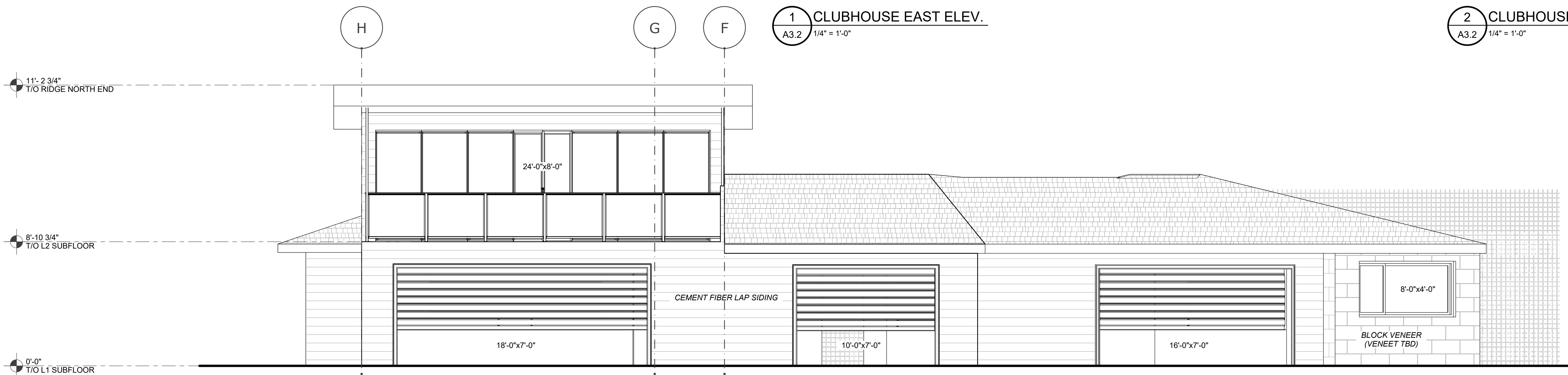
NEW BLDG ELEVATIONS

A3.1

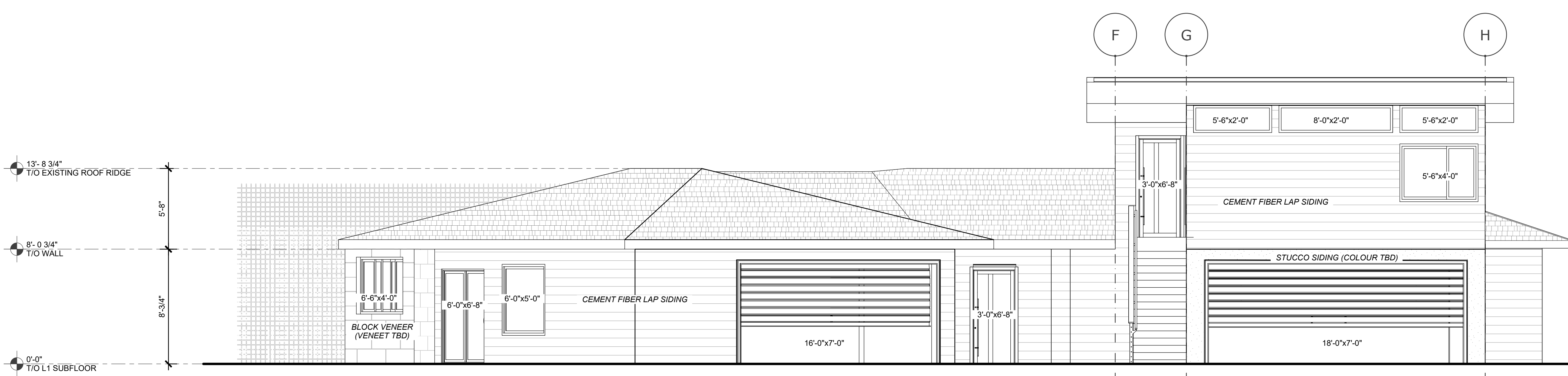


1 CLUBHOUSE EAST ELEV.
 A3.2 1/4" = 1'-0"

2 CLUBHOUSE WEST ELEV.
 A3.2 1/4" = 1'-0"



3 CLUBHOUSE NORTH ELEV.
 A3.2 1/4" = 1'-0"



4 CLUBHOUSE SOUTH ELEV.
 A3.2 1/4" = 1'-0"

**KELOWNA PADDLE
 CENTER**

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**CLUBHOUSE
 ELEVATIONS**

A3.2

KELOWNA PADDLE CENTER

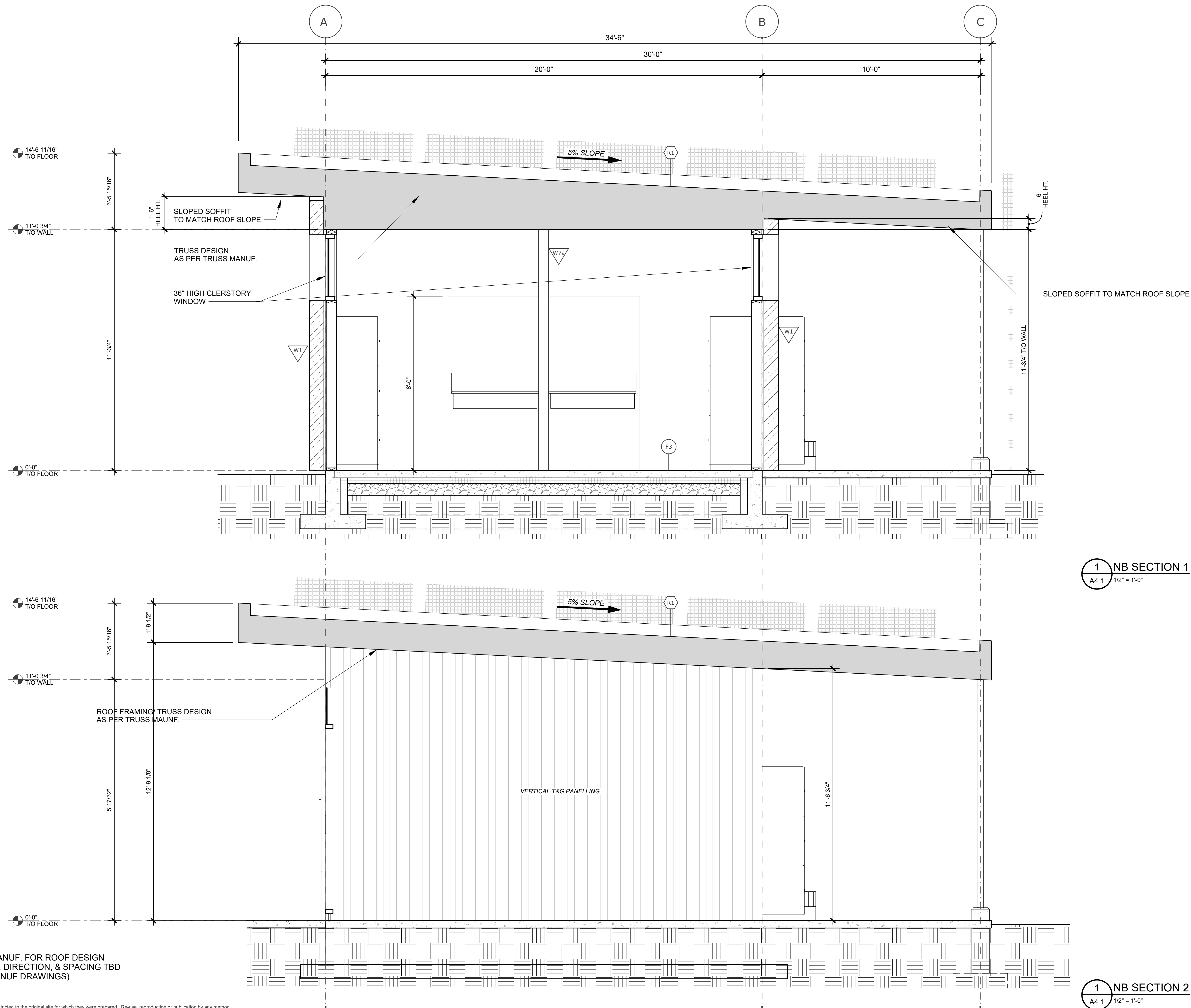
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NEW BLDG
 SECTIONS 1

A4.1

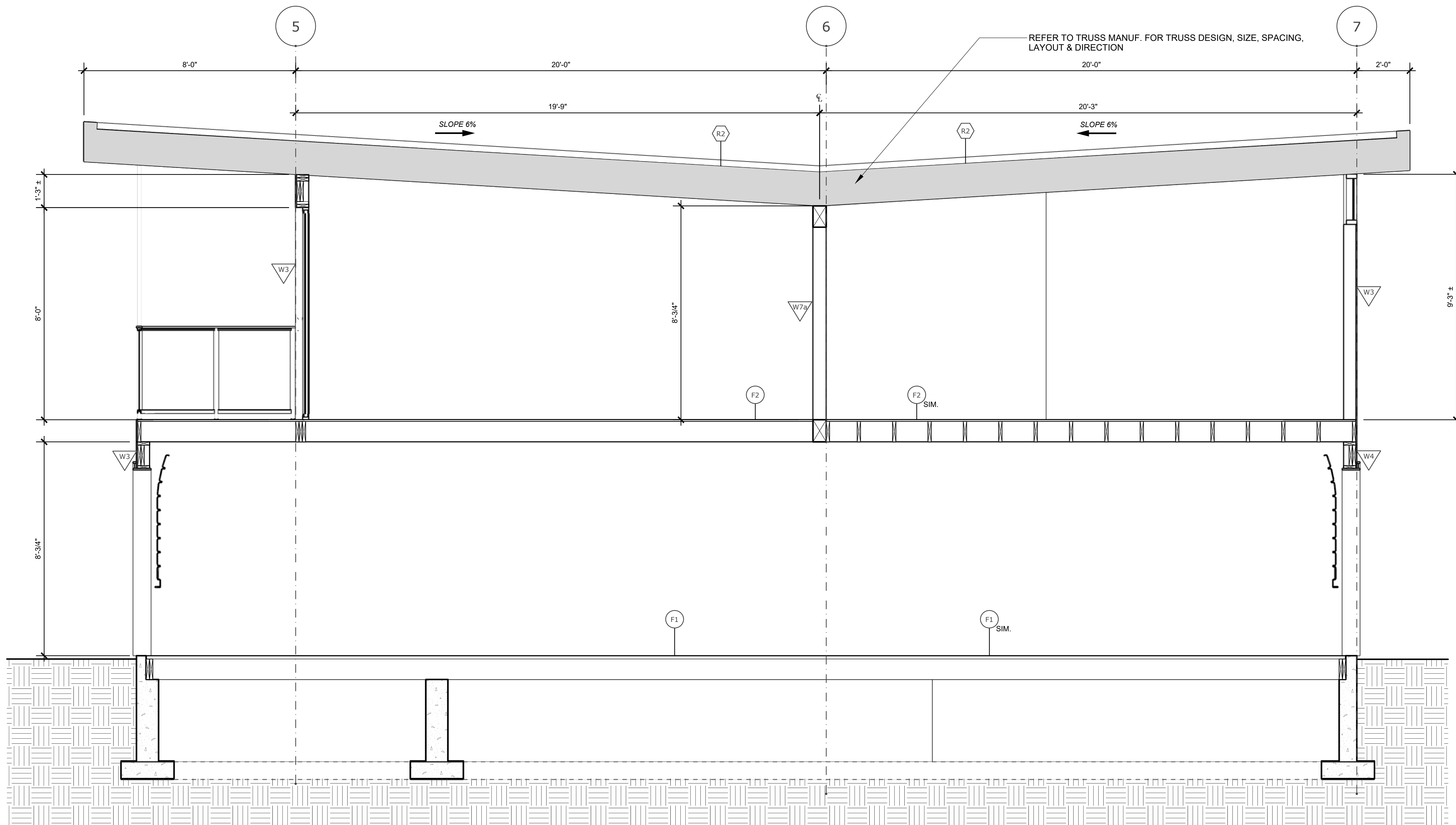


1 NB SECTION 1
 A4.1 1/2" = 1'-0"

1 NB SECTION 2
 A4.1 1/2" = 1'-0"

NOTES:

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1 CLUBHOUSE SECTION 1
 A4.2 1/2" = 1'-0"

KELOWNA PADDLE CENTER

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CLUBHOUSE SECTION 1